

# **County of Siskiyou**

## **GENERAL SERVICES**

190 GREENHORN ROAD YREKA, CA 96097 530.842.8220 530.841.2800 FAX

September 27, 2023

## ADDENDUM NO. 1

## FOR CONSTRUCTION PROJECT FIRST ADVERTISED ON JUNE 12, 2023

FOR CONSTRUCTION ON SISKIYOU COUNTY GENERAL SERVICES BOARD OF SUPERVISORS CHAMBERS REMODEL AT 311 FOURTH STREET, YREKA, CA Contract No. 23-107010-02

## \*\*\*BID OPENING ON MONDAY, OCTOBER 2, 2023 AT 3:00 P.M..\*\*\*

## **TO ALL BIDDERS:**

The original work plan is hereby supplemented by this Addendum No. 1. This Addendum applies to all phases of the work and supersedes anything in the contract documents with which it may conflict. Please make the following revisions to the work plan for the above project.

**BIDDERS SHALL ACKNOWLEDGE** receipt of this Addendum by inserting its number into the space provided on Page 1 of Section 00 41 00, "Bid Form" of the Contract Book. Failure to do so may subject bidders to disqualification.

### **SPECIFICATIONS AND DRAWINGS:**

### A. CHANGES TO CONTRACT BOOK

a. Removed Section 08 11 00 – Metal Doors and Frames

### B. <u>CHANGES TO DRAWINGS</u>

- **a.** A100 Added Keynote #17 to remove existing furred wood strip
- b. A220 Added Keynote #14 to add gypsum board where furred wood strip was removed
- c. A500 Revised tall cabinet elevation, see 1A/A500
- d. A500 Revised wood paneling to Plastic Laminate in Legend
- e. A501 Revised wood paneling to Plastic Laminate in Legend
- f. A710 Added Door frame elevation

Siskiyou County General Services Board of Supervisors Chambers Remodel Addendum No. 1 September 27, 2023 Page 2

- g. A901 Revised 2x6 floor joist to 2x4, see detail 5/A901
- h. A902 Revised tall cabinet section door and soffit, see detail 4/A902
- i. A902 Added penetration detail, see detail 11/A902
- j. A940 Revised hard wood paneling to Plastic Laminate
- k. E2.0 Added Data Drop in Power Closet
- I. E2.0 Added Keynote #6, to locate electrical within the Power Closet.

C. **<u>RFI RESPONSES</u>** - See attached table of bid questions / responses.

Any questions should be directed to Amanda Kimball at (530) 842-8220 or akimball2@co.siskiyou.ca.us

Sincerely,

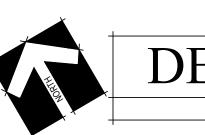
JOY HALL, Director of General Services

so i di i delle di General Sei

AVC/SA/ldr

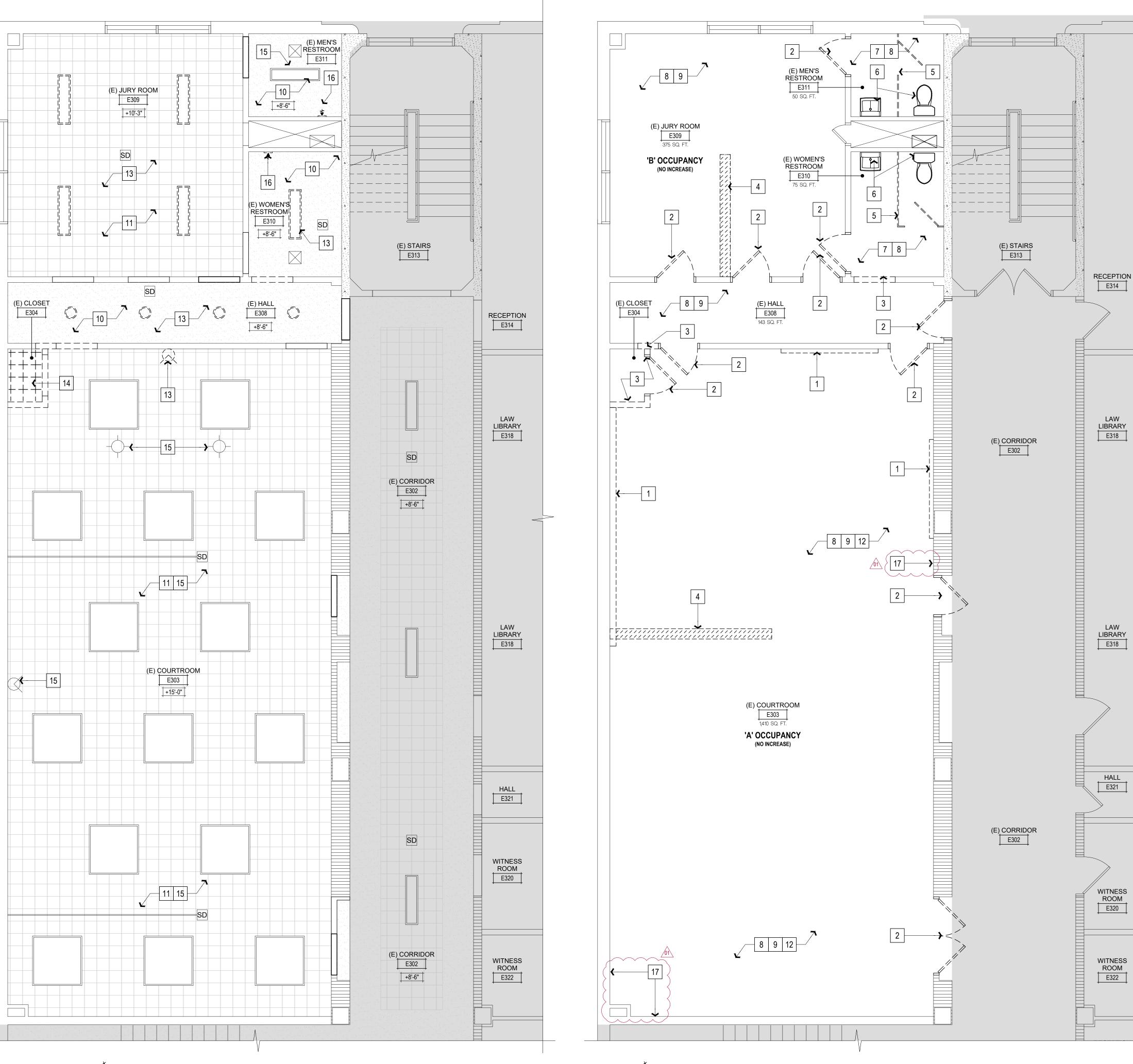
Attachments: Attachment 1

t 1 BID RFI Log with responses. (1 page,  $8\frac{1}{2} \times 11$ )



DEMOLITION RCP SCALE: 1/4" = 1'-0"







# GEN. DEMOLITION NOTES

- I. REQUIRED EXITS SHALL BE MAINTAINED WHEN TEMPORARY CONSTRUCTION BARRIERS ARE PROVIDED.
- 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION RELATED CONDITIONS PRIOR TO STARTING DEMOLITION.
- 3. ALL DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE TO MINIMIZE DISRUPTION OF THE NORMAL DAILY FUNCTIONS OF THE OCCUPIED AREAS.
- 4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO OWNER OCCUPIED AREAS ADJACENT TO NEW CONSTRUCTION OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED, AND IS RESPONSIBLE FOR DAMAGES CAUSED.
- 5. THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREAS FOR VARIOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL FROM THE CONSTRUCTION SITE OF ALL CONSTRUCTION DEBRIS, AND/OR ITEMS NOT RETAINED BY THE OWNERS REPRESENTATIVE.
- 6. TEMPORARY BARRICADES AS PERTAINING TO THE CONTRACTORS ACTIVITIES, SHALL BE INSTALLED TO PREVENT POSSIBLE INJURY TO PERSONS IN AND AROUND DEMOLITION AND CONSTRUCTION AREAS. COORDINATE WITH OWNERS REPRESENTATIVE.
- 7. DUST PARTITIONS WILL BE INSTALLED BY THE CONTRACTOR. PARTITIONS MUST BE IN ACCORDANCE WITH FIRE PROTECTION AND EGRESS REQUIREMENTS.
- 8. WHERE REMOVAL OF FLOOR COVERINGS AND VINYL WALL BASE ARE REQUIRED, REMOVE ONLY WHAT IS NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC.; AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- 9. ANY AND ALL DISCREPANCIES IN THE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNERS REPRESENTATIVE.
- 10. NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- 11. ALL EXISTING SERVICES AND UTILITIES SHALL BE MAINTAINED TO ADJACENT DEPARTMENTS AND AREAS IN OPERATION. ANY TEMPORARY INTERRUPTION IN SERVICES SHALL BE PRIOR COORDINATED WITH OWNERS REPRESENTATIVE.
- 12. ALL EXISTING ITEMS SUCH AS EQUIPMENT, PLUMBING, FIXTURES, ETC. TO REMAIN IN PLACE SHALL BE PROTECTED FROM DIRT AND DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- 13. ALL AREAS TO REMAIN WHICH ARE DISRUPTED BY ANY DEMOLITION ARE TO BE PATCHED AND PREPARED FOR NEW WALL COVERING.
- 14. ALL OPENING AND VOIDS LEFT BY THE REMOVAL OF EXISTING CONSTRUCTION, EQUIPMENT, PIPING DUCTS, ETC., SHALL BE PROPERLY SEALED TO MAINTAIN PROPER FIRE RATING IN WALL. PREPARE PATCHES TO RECEIVE NEW FINISHES AS REQUIRED.

# DEMOLITION KEYNOTES

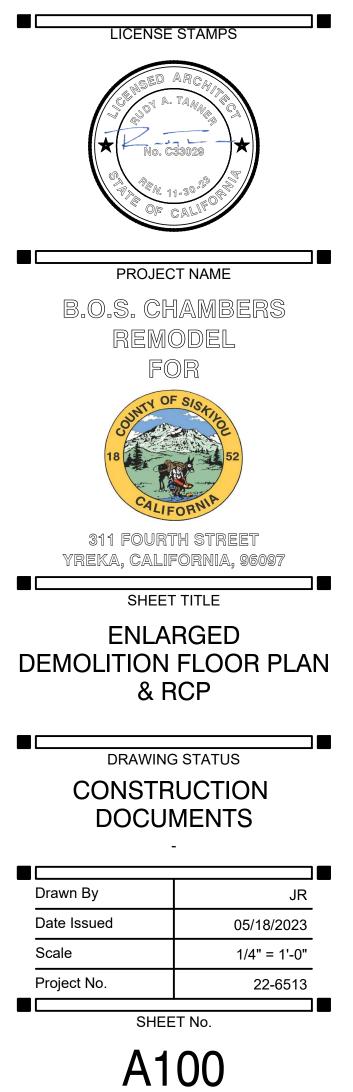
1	REMOVE (E) OAK	PLYWOOD PANELS, SHOWN DASHED					
2	REMOVE (E) DOOI	R AND (E) DOOR FRAME, SHOWN DASHED					
3	DEMO SECTION OF WALL, SHOWN DASHED						
4	REMOVE 10" +/- WIDE 1-1/2" DEEP STRIP OF TOPPING COMPOUND FOR ELECTRICAL CONDUIT, SHOWN DASHED SEE MECHANICAL DRAWINGS FOR MORE INFORMATION						
5	REMOVE (E) TOILET ROOM PARTITIONS, SHOWN DASHED						
6	REMOVE (E) PLUMBING FIXTURES, SEE PLUMBING DRAWINGS FOR MORE INFORMATION						
7		IOUNTED TOILET ROOM ACCESSORIES, FOR NEW FINISHES					
8	PREPARE FLOORI	NG FOR NEW FLOOR COVERING					
9	PREPARE WALL F	OR NEW FINISHES					
10	PREPARE CEILING FOR NEW FINISHES						
11	REMOVE (E) DAMAGED AND/OR LOOSE ACOUSTICAL CEILING TILES, REPLACE WITH NEW AND MATCH ADJACENT FINISHES						
12	REMOVE (E) DAMAGED AND/OR LOOSE ACOUSTICAL WALL TILES, REPLACE WITH NEW AND MATCH ADJACENT FINISHES						
13		TING FIXTURES, SHOWN DASHED, DRAWINGS FOR MORE INFORMATION					
14	REMOVE (E) CEILI	NG, SHOWN DASHED					
15	(E) LIGHTING FIXT	URE TO REMAIN, PROTECT IN-PLACE					
16	REMOVE (E) SIDE WALL GRILLE, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION						
17	REMOVE (E) FURRED WOOD STRIP, WHERE OCCURS, SEE 10/A902						
LEG	END						
		NO WORK IN THIS AREA					
		(E) NON-RATED PARTITION TO REMAIN					
		(E) 1 HOUR RATED FIRE PARTITION TO REMAIN					
		(E) 4'x4' LIGHT FIXTURE TO REMAIN, SEE ELECTRICAL DRAWINGS					
		(E) 1'x4' LIGHT FIXTURES TO REMAIN, SEE ELECTRICAL DRAWINGS					
	SD	(E) SMOKE DETECTOR TO REMAIN					



NICHOLS MELBURG & ROSSETTO ARCHITECTS + ENGINEERS 2455 Bennett Valley Rd., Ste. B303 Santa Rosa, CA 95404 (707) 536-2121 (530) 222-3538 Fax http://www.nmrdesign.com

REVISIONS	
Description	Date
BID SET #2	09/06/2023
ADDENDUM #1	09/27/2023
wing is not 24" x 36" it is a	reduced print
right © 2023	
designs, arrangements and plans indi g are owned by, and the property of, NI D and were created, evolved and deve with, the specified project. None of nts or plans shall be used by, or discl ion for any purpose whatsoever withou	CHOLS, MELBURG ar eloped for use on, and of such ideas, design osed to any person, fir
	Description BID SET #2 ADDENDUM #1

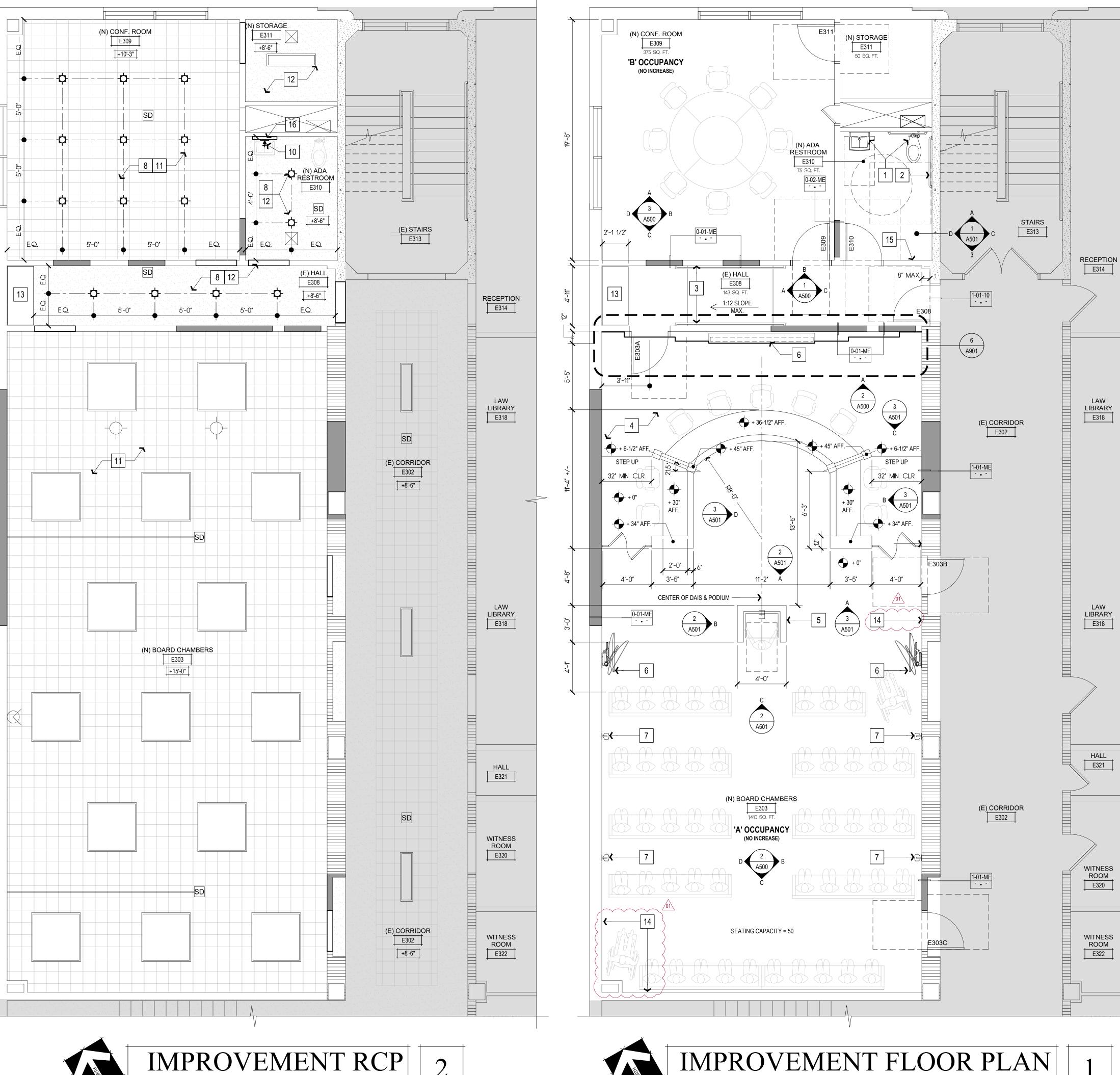
AGENCY APPROVAL





# **IMPROVEMENT RCP**

SCALE: 1/4" = 1'-0"



- REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND EQUIPMENT NOT SHOWN ON THIS PLAN.
- SEE DOOR SCHEDULE, SHEET A710, FOR ADDITIONAL INFORMATION AND TYPES. NO HARDWARE SHOWN ON INTERIOR ELEVATIONS.
- ALL FURNITURE TO BE O.F.O.I., UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY THAT EXISTING PARTITIONS-TO-REMAIN CONFORM WITH REQUIREMENTS FOR FIRE RESISTANCE AND/OR SMOKE BARRIERS WITHIN THE CONTRACT AREA. SEE COVER SHEET FOR CONTRACT AREA (AREA OF PROPOSED REMODEL).
- EXISTING CONDITIONS: DIMENSIONS AND CONDITIONS TYING INTO, OR GOVERNED BY, EXISTING CONSTRUCTION ARE APPROXIMATE. SUCH DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. THE FIRST SUBMITTAL OF SHOP DRAWINGS SHALL CONTAIN FIELD VERIFIED DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR CONDITIONS SIGNIFICANTLY VARY FROM THOSE INDICATED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT BEFORE PREPARATION OF THE SHOP DRAWINGS.
- WHERE TWO DIFFERING SHEET VINYL FLOORINGS (OR OTHER SEAMLESS FLOORING MATERIALS) CREATE A TRANSITION AT A DOORWAY, THEY SHALL BE SEALED AND BUTTED TOGETHER AT THE CENTERLINE OF THE DOOR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFER TO SHEET A900 FOR TYPICAL FRAMING DETAILS AND REQUIREMENTS, TYPICAL.

(N) ACCESSIBLE RESTROOM FIXTURES,

SEE PLUMBING DRAWINGS FOR MORE INFORMATION



NICHOLS MELBURG & ROSSETTO ARCHITECTS + ENGINEERS 2455 Bennett Valley Rd., Ste. B303 Santa Rosa, CA 95404 (707) 536-2121 (530) 222-3538 Fax http://www.nmrdesign.com

		REVISIONS	
$-\underline{\overset{\frown}{\frown}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$ $\underline{\overset{\Box}{\Box}}$	Delta	Description	Date
ADDENDUM #1       09/27/20	B	BID SET #2	09/06/2023
	01	ADDENDUM #1	09/27/2023
If drawing is not 24" x 36" it is a reduced prin	If drav	wing is not 24" x 36" it is a	reduced print
Copyright © 2023			

AGENCY APPROVAL

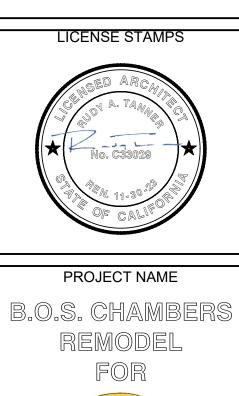
# **KEYNOTES**

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
15	

	2	(N) GRAB BAR, SEE DETAIL 2/A902
	3	(N) HANDRAIL, SEE DETAILS 3 & 4/A901
	4	(N) SLEEPER PLATFORM, SEE DETAIL 5/A901
	5	(N) ACCESSIBLE ELECTRICALLY ADJUSTABLE LECTERN, SEE DETAIL 1/A940
	6	(N) WALL-MOUNTED TELEVISION, SEE DETAIL 1/A902, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION, WALL LOCATION & ELEVATION SIZE PER OWNER, OFCI
	7	(N) WALL-MOUNTED SPEAKERS, WALL LOCATION PER OWNER SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
	8	(N) LIGHTING FIXTURES, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
	9	TACTILE SIGN STATING "ASSISTIVE LISTENING SYSTEM AVAILABLE" COMPLYING WITH CBC SECTION 1104B.2.4, SEE DETAIL 3A960
	10	(N) EXHAUST FAN, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
	11	REPLACE (E) ACOUSTICAL CEILING TILES FROM DEMOLITION, MATCH ADJACENT FINISHES
	12	PATCH AND REPAIR CEILING
	13	(N) FULL HEIGHT CABINET, SEE DETAIL 4/A902
(	14	(N) GYP. BOARD AT FLOOR BASE, WHERE OCCURS, SEE 10/A902
	15	(N) HORN AND STROBE WARNING DEVICE AT 84" AFF., TIE INTO (E) FIRE ALARM SYSTEM

~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	
(N) HORN AND STROBE WARNING DEVICE AT 84"	AFF.,
TIE INTO (E) FIRE ALARM SYSTEM	

16 (N) WALL MOUNTED LIGHTING FIXTURE, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION



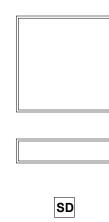


311 FOURTH STREET YREKA, CALIFORNIA, 96097

# SHEET TITLE IMPROVEMENT **LAN**

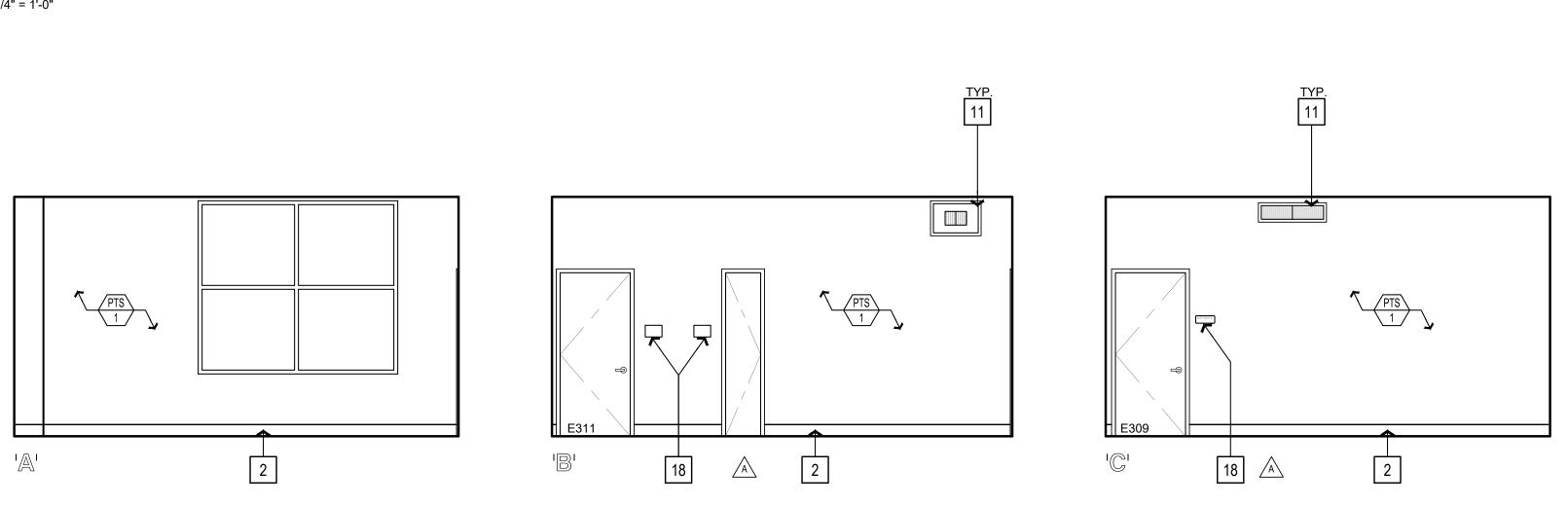
	ENLARGED F & R(		
NO WORK IN THIS AREA			
(E) NON-RATED PARTITION TO REMAIN	DRAWING STATUS CONSTRUCTION DOCUMENTS		
(E) 1 HOUR RATED FIRE PARTITION TO REMAIN	-		
	Drawn By	JR	
(E) 4'x4' LIGHT FIXTURE TO REMAIN	Date Issued	05/18/2023	
SEE ELECTRICAL DRAWINGS	Scale	1/4" = 1'-0"	
	Project No.	22-6513	
(E) 1'x4' LIGHT FIXTURES TO REMAIN SEE ELECTRICAL DRAWINGS	SHEET	No.	
(E) SMOKE DETECTOR TO REMAIN	A22	20	

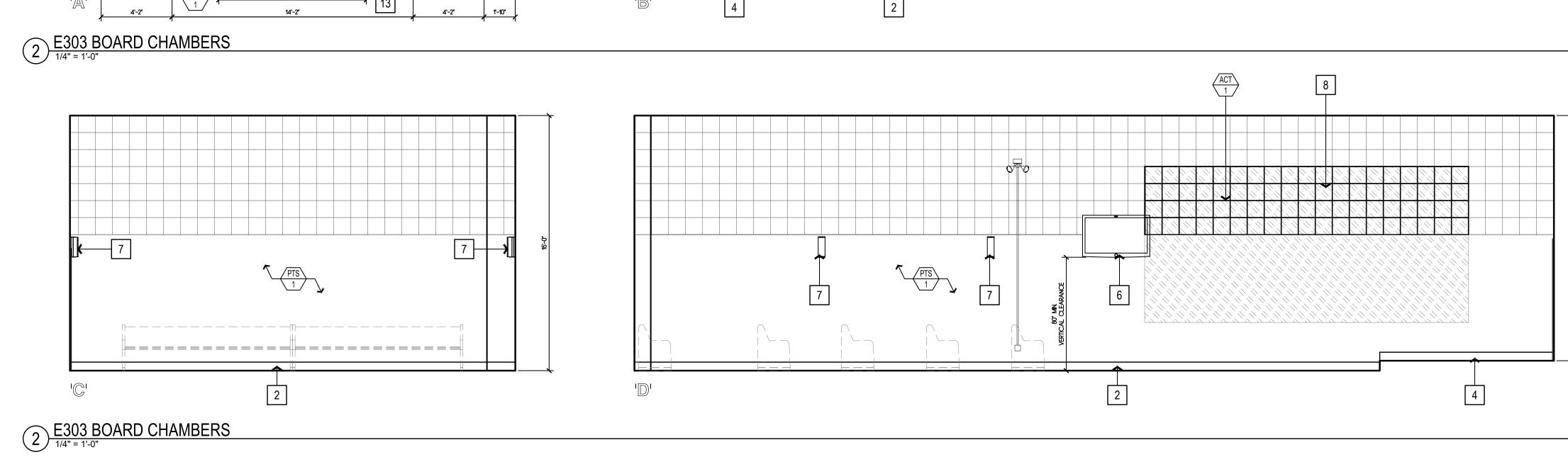
LE	GEND

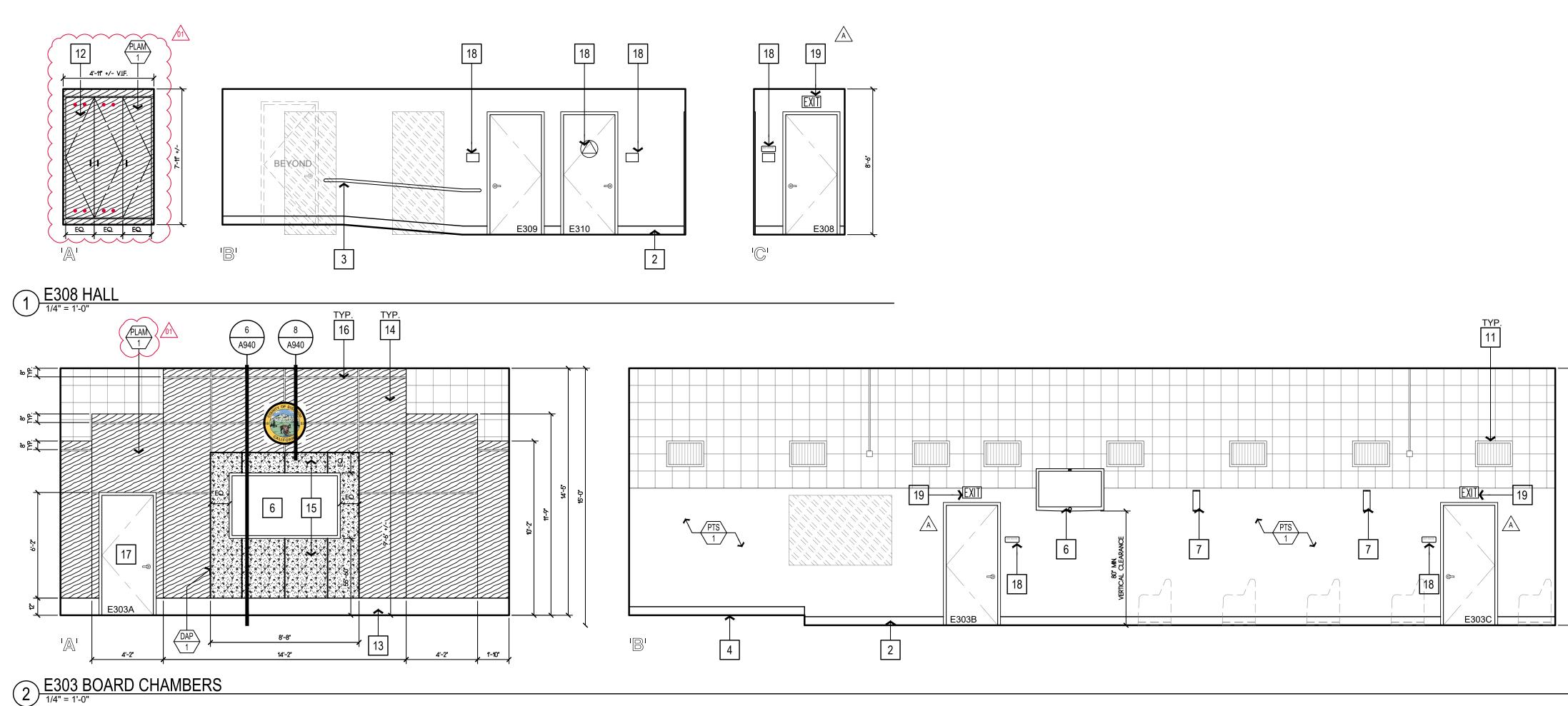


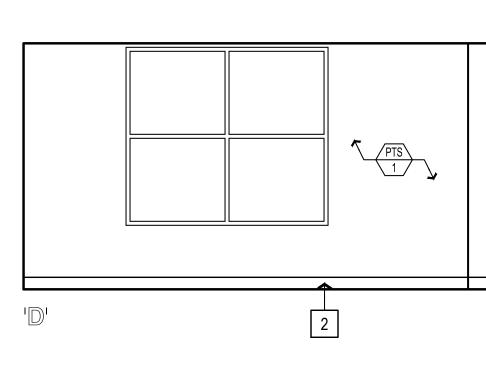
SCALE: 1/4" = 1'-0"



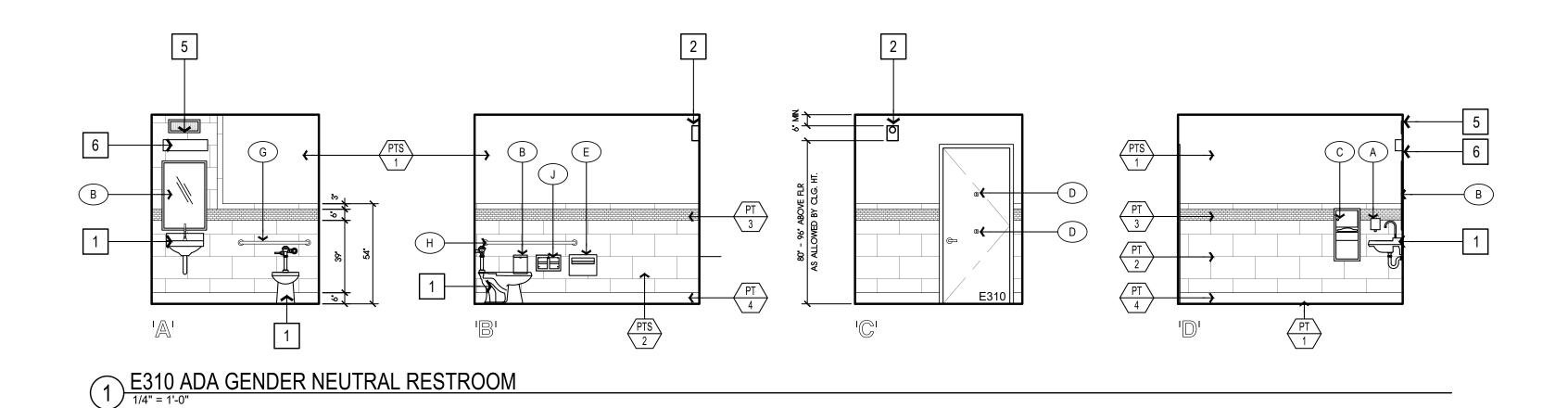


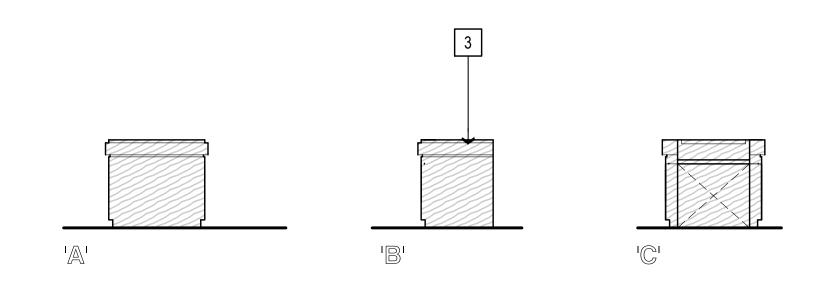




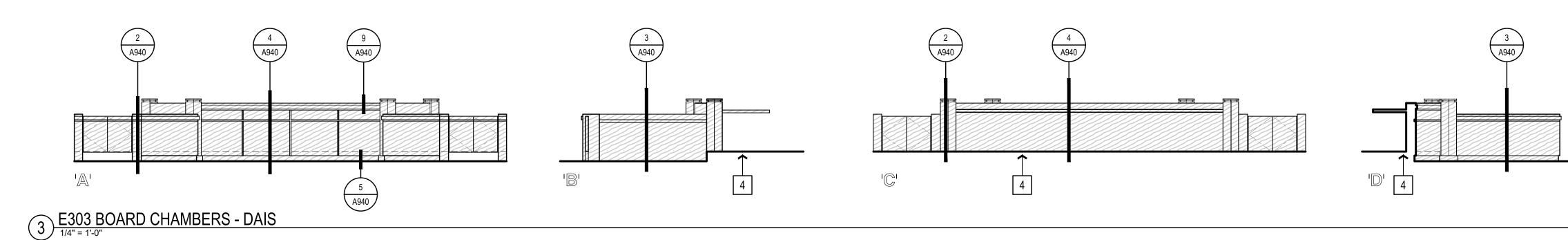


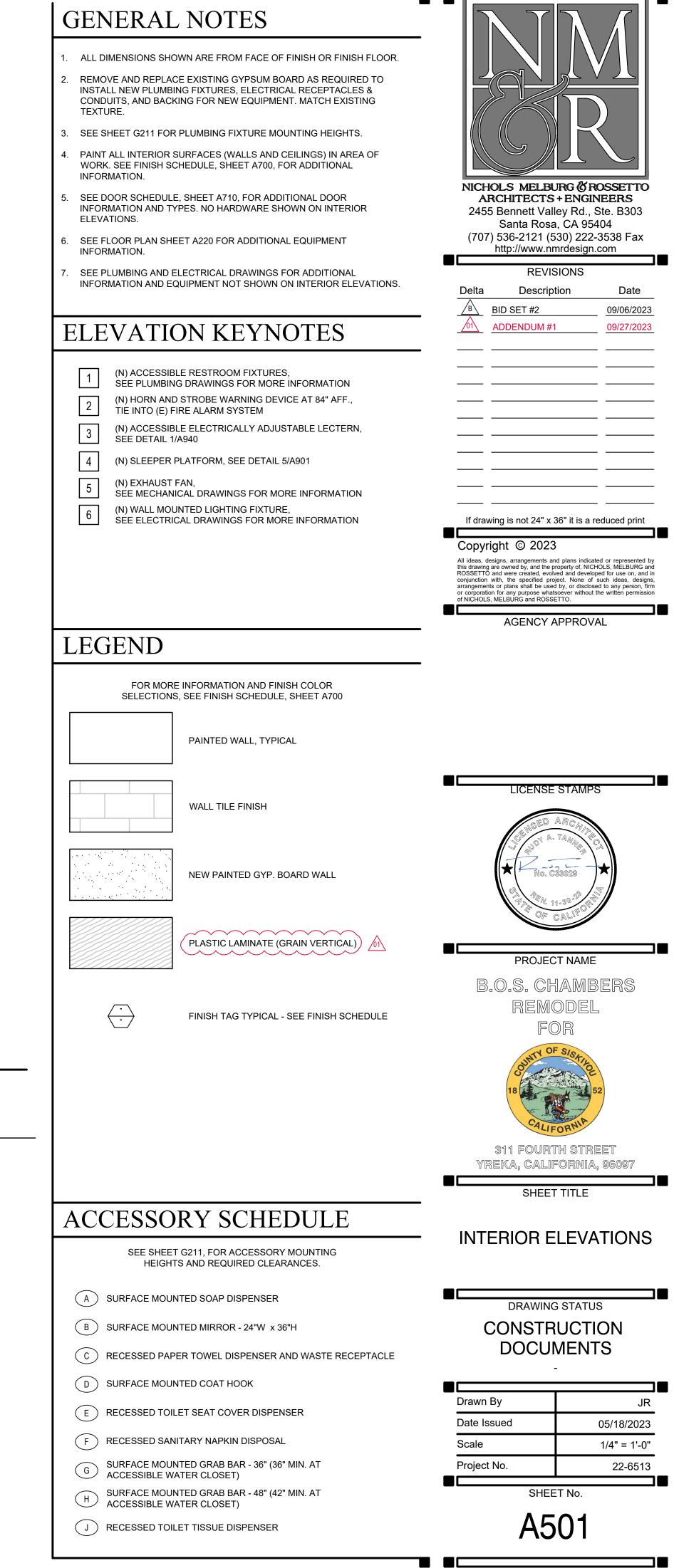
2. REMOVE AND REPLA INSTALL NEW PLUMB	OWN ARE FROM FACE OF FINISH OR FINISH FLOOR. CE EXISTING GYPSUM BOARD AS REQUIRED TO ING FIXTURES, ELECTRICAL RECEPTACLES & KING FOR NEW EQUIPMENT. MATCH EXISTING		
TEXTURE.			
4. PAINT ALL INTERIOR	R PLUMBING FIXTURE MOUNTING HEIGHTS. SURFACES (WALLS AND CEILINGS) IN AREA OF CHEDULE, SHEET A700, FOR ADDITIONAL		
	E, SHEET A710, FOR ADDITIONAL DOOR YPES, NO HARDWARE SHOWN ON INTERIOR	NICHOLS MELBURG ARCHITECTS + E	ENGINEERS
ELEVATIONS.	EET A220 FOR ADDITIONAL EQUIPMENT	2455 Bennett Valley Santa Rosa, C (707) 536-2121 (530	CA 95404 ) 222-3538 Fax
INFORMATION.		http://www.nmrd	•
	ELECTRICAL DRAWINGS FOR ADDITIONAL QUIPMENT NOT SHOWN ON INTERIOR ELEVATIONS.	REVISIO           Delta         Description           A         BACKCHECK 01	
ELEVATI	ON KEYNOTES	Bit     Bit     Bit     Bit       Addendum #1	09/06/202 09/27/202
	BLE RESTROOM FIXTURES, IG DRAWINGS FOR MORE INFORMATION		
2 (N) BASE AT (	CARPET FLOORING, SEE DETAIL 6/A902		
3 (N) HANDRAII	., SEE DETAILS 3 & 4A/901		
4 (N) SLEEPER	PLATFORM, SEE DETAIL 5/A901		
	BLE ELECTRICALLY ADJUSTABLE LECTERN,		
(N) WALL-MO	UNTED TELEVISION, SEE DETAIL 1/A902		
WALL LOCAT	CAL DRAWINGS FOR MORE INFORMATION,	If drawing is not 24" x 36"	it is a reduced prin
	UNTED SPEAKERS, WALL LOCATION PER OWNER CAL DRAWINGS FOR MORE INFORMATION,	Copyright © 2023 All ideas, designs, arrangements and pla	ans indicated or represente
8 (N) NEW ACO	USTICAL WALL TILES, MATCH ADJACENT FINISHES	this drawing are owned by and the proper ROSSETTO and were created, evolved a conjunction with, the specified project, arrangements or plans shall be used by,	nd developed for use on, a None of such ideas, des or disclosed to any person
	SIGN STATING "ASSISTIVE LISTENING SYSTEM AVAILABLE" WITH CBC SECTION 1104B.2.4, SEE DETAIL 3A960	or corporation for any purpose whatsoeve of NICHOLS, MELBURG and ROSSETTC	).
	NG DIFFUSERS, SEE FINISH SCHEDULE	AGENCY APP	PROVAL
12 FULL HEIGHT	CABINET, SEE DETAIL 4/A902		
	L PANEL, SEE DETAIL 9/A940		
14 VENEER PLY	WOOD AT CASEWORK		
15 POLYMER PA	NELING W/ STANDOFF SYSTEM SUPPORT		
	NELING W/ STANDOFF SYSTEM SUPPORT OW REVEALS		TAMPS
16 PANEL SHAD		LICENSE ST	TAMPS
16 PANEL SHAD 17 DOOR, SEE D	OW REVEALS	LICENSE ST	TAMPS
16PANEL SHAD17DOOR, SEE D18ADA TACTILE	OW REVEALS OOR SCHEDULE	LICENSE ST	C HI THE CA
16PANEL SHAD17DOOR, SEE D18ADA TACTILE	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	CENSED AR	CHINE CA
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN         LEGEND         FOR MOR	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT NO. S. CHA	NAME
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN         LEGEND         FOR MOR	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	ROJECT N	NAME MBERS DEL
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT NO. S. CHA B.O.S. CHA	NAME MBERS DEL
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT I B.O.S. CHAR REMOI FOR Source of state 11 FOURTH STATE OF STATE STATE OF STATE OF STATE STATE OF STATE STATE OF STATE OF STATE STATE OF STATE STATE OF STATE OF STATE STATE OF STATE OF STATE STATE OF STATE OF STATE STATE OF STATE OF STATE OF STATE STATE OF STATE OF STATE OF STATE OF STATE STATE OF STATE OF STATE OF STATE OF STATE OF STATE OF STATE STATE OF STATE OF S	NAME MBERS DEL STREET RNIA, 96097
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT I B.O.S. CHAR REMOI FOR JI FOURTH	NAME MBERS DEL Street NIA, 96097
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN         LEGEND         FOR MOR	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT I B.O.S. CHAR REMOI FOR OF SHEET T INTERIOR EL	NAME MBERS DEL STREET RNIA, 96097
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT I B.O.S. CHAR REMO FOR SI FOURTA SHEET T	NAME MBERS DEL STREET NIA, 96097
16       PANEL SHAD         17       DOOR, SEE D         18       ADA TACTILE         19       PHOTOLUMIN	OW REVEALS OOR SCHEDULE SIGNAGE, SEE SPECIFICATION SECTION 10 14 00	PROJECT I B.O.S. CHAR B.O.S. C	NAME MBERS DEL STREET NIA, 96097

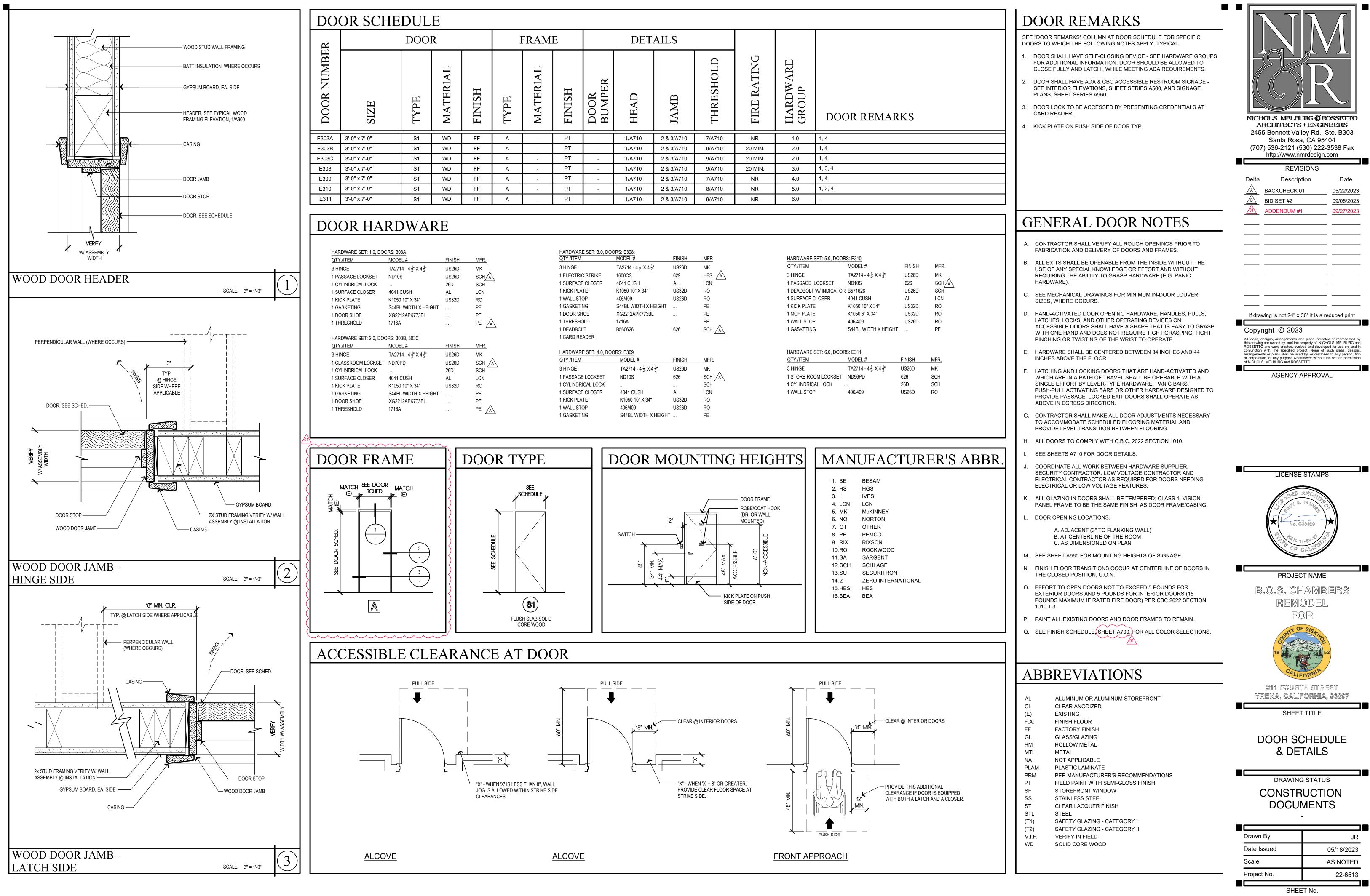






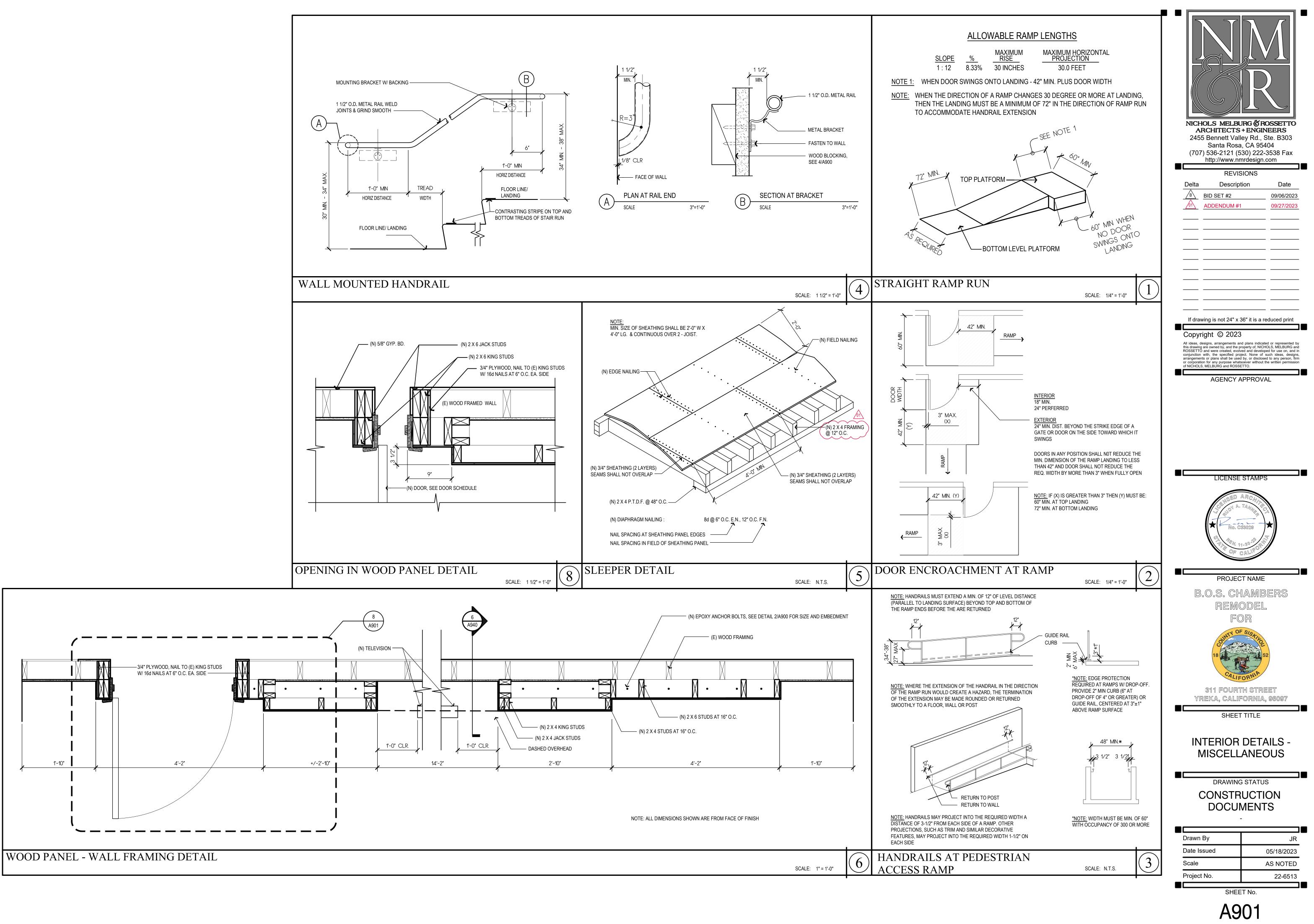


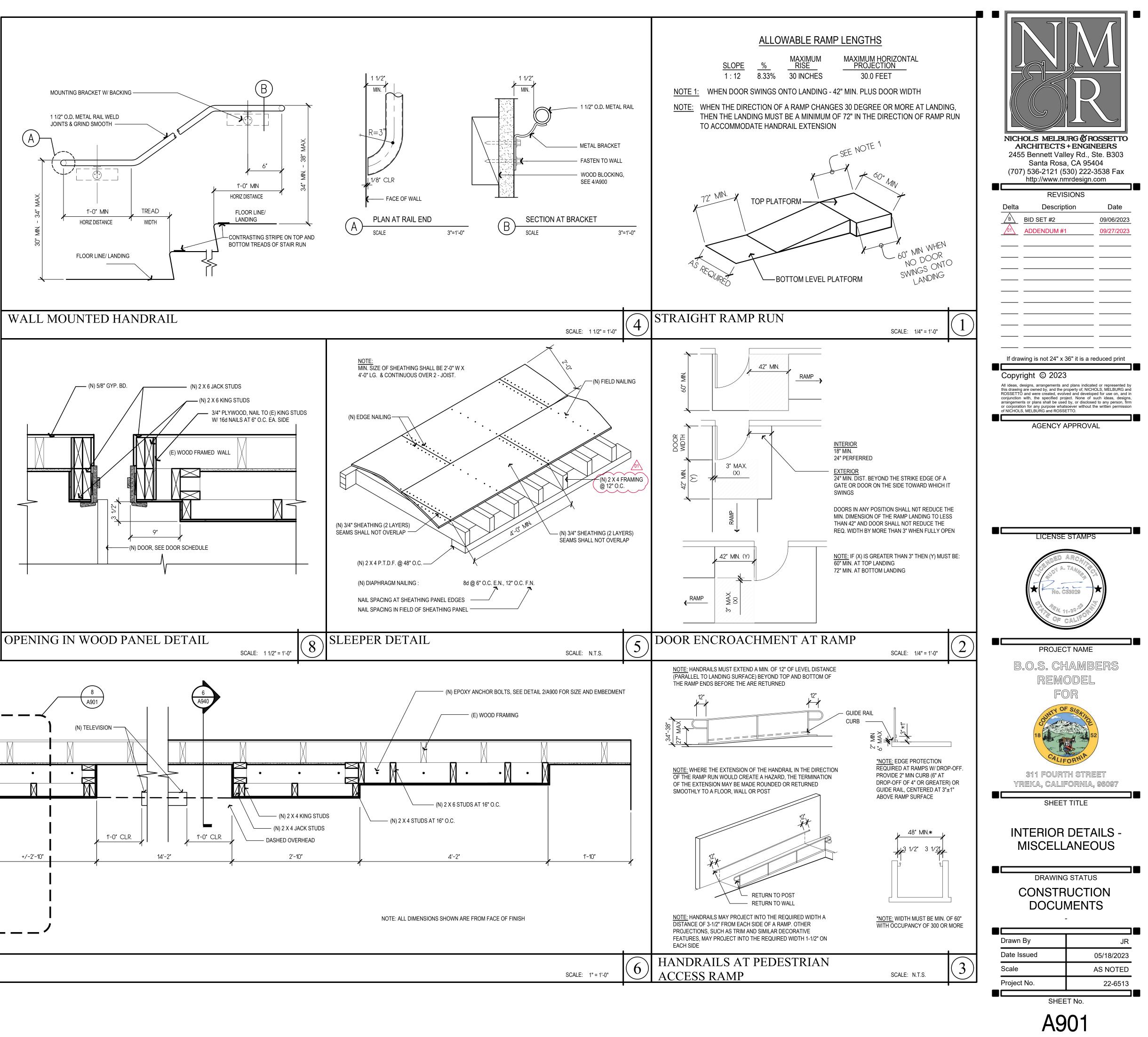


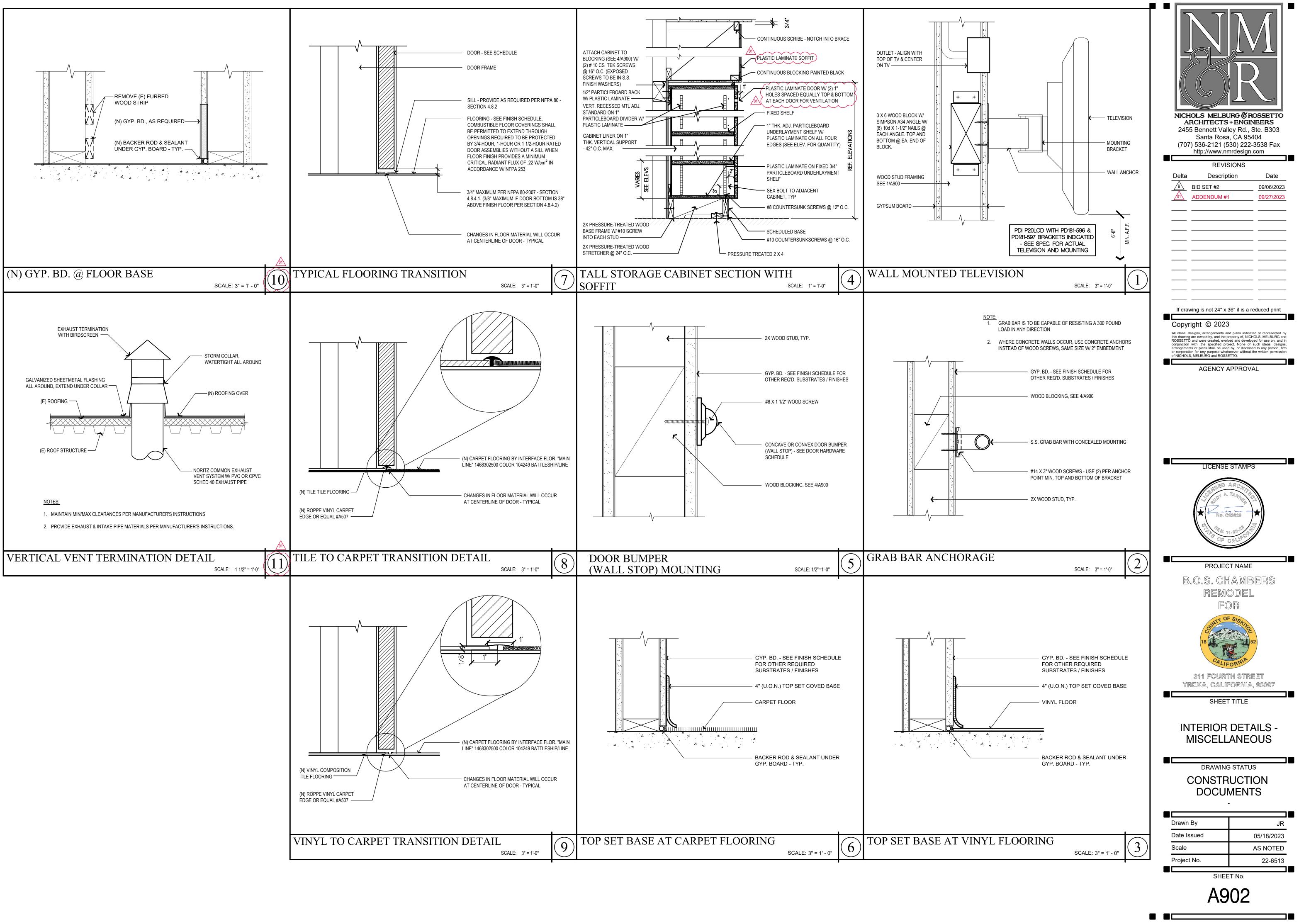


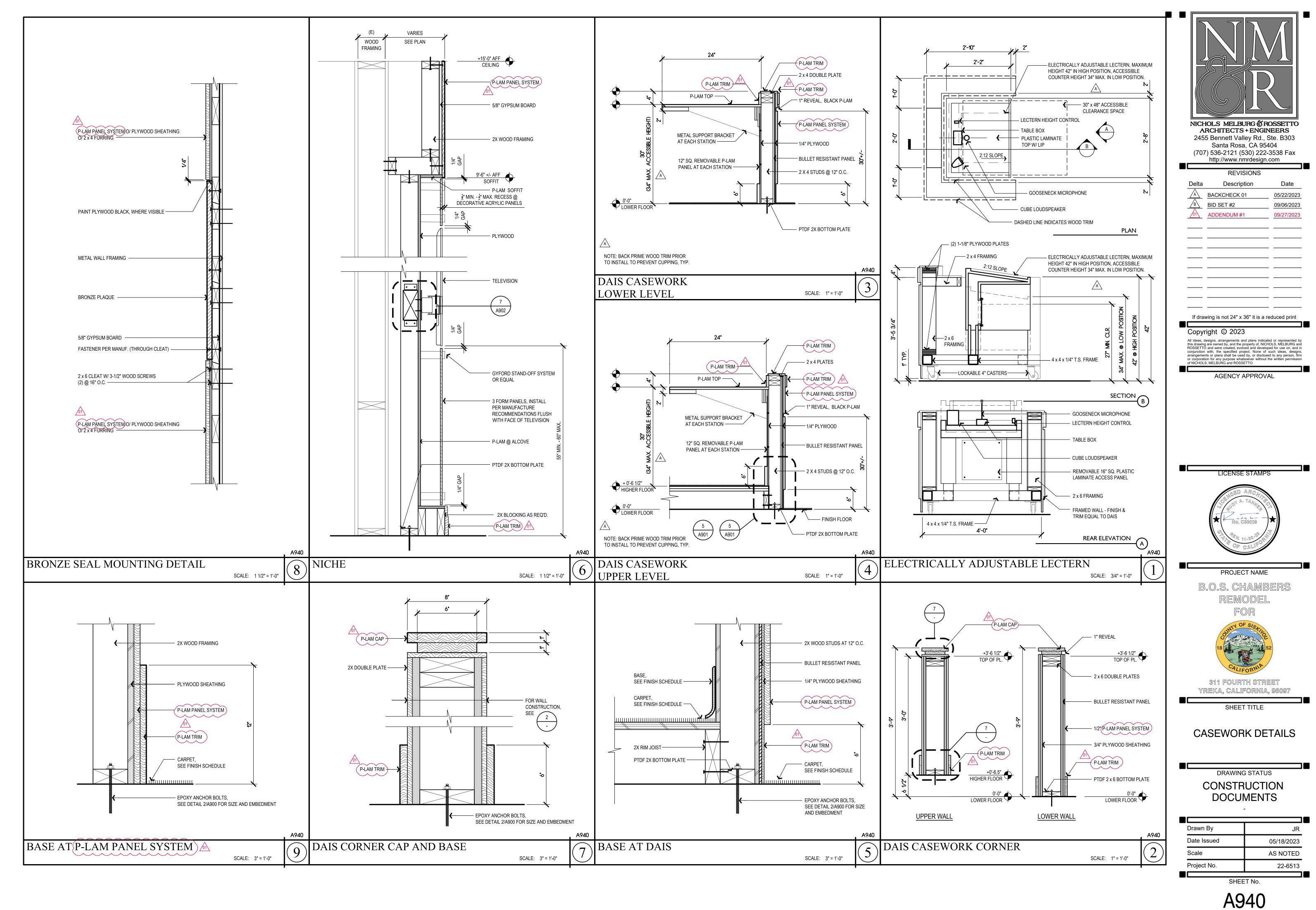
A710

FRAME		DETAILS									
MATERIAL	FINISH	TYPE	MATERIAL	FINISH	DOOR BUMPER	HEAD	JAMB	THRESHOLD	FIRE RATING	HARDWARE GROUP	DOOR REMARKS
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	7/A710	NR	1.0	1, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	9/A710	20 MIN.	2.0	1, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	9/A710	20 MIN.	2.0	1, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	9/A710	20 MIN.	3.0	1, 3, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	7/A710	NR	4.0	1, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	8/A710	NR	5.0	1, 2, 4
VD	FF	А	-	PT	-	1/A710	2 & 3/A710	9/A710	NR	6.0	-

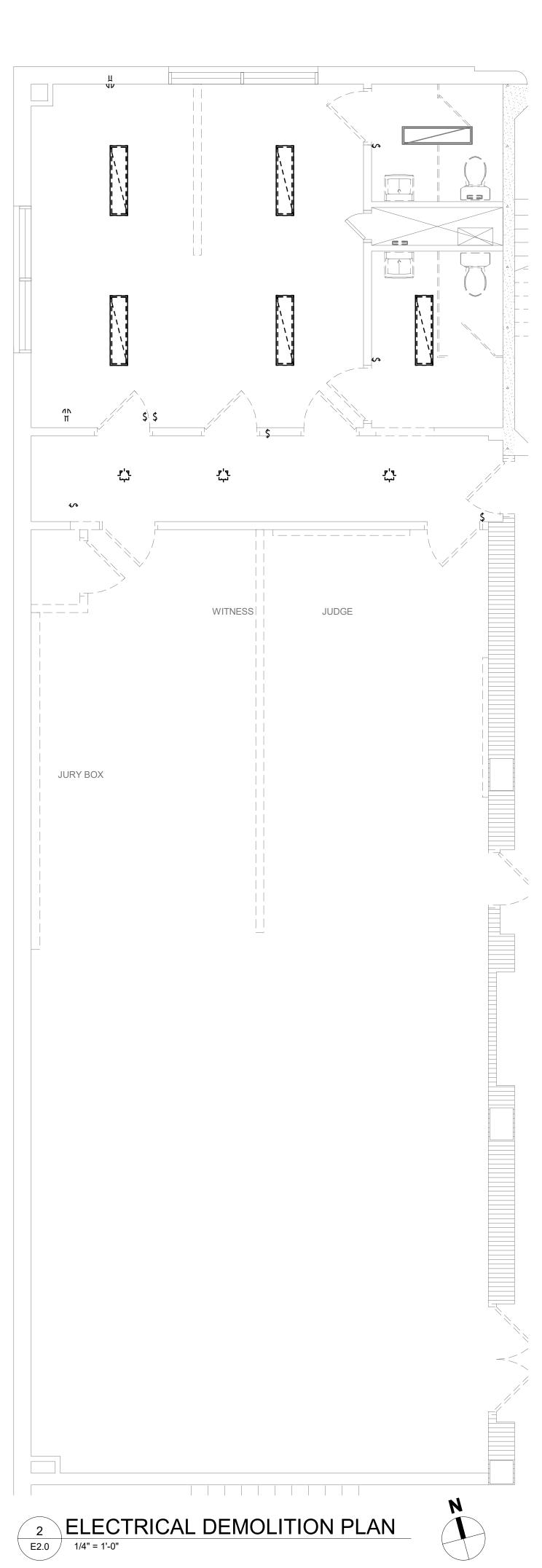












GHTING ZONE EGEND

PRIMARY DAYLIGHTING ZONE

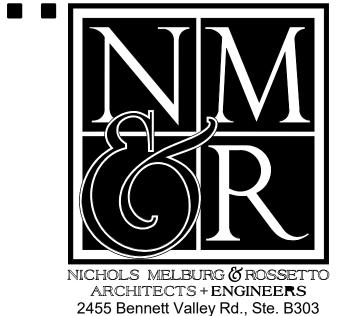
SECONDARY DAYLIGHTING ZONE

GENERAL NOTES

- 1. RECEPTACLES FOR POWER AND DATA SHALL BE 15" MINIMUM TO THE BOTTOM OF THE BOX AND A MAXIMUM 48" TO THE TOP OF THE BOX ABOVE THE FINISHED FLOOR SURFACE UNLESS OTHERWISE NOTED.
- 2. LIGHT SWITCHES, THERMOSTATS, AND OTHER SIMILAR ELECTRICAL DEVICES SHALL BE 48" MAXIMUM TO THE TOP OF THE BOX ABOVE FINISHED SURFACE UNLESS OTHERISE NOTED.

KEYED NOTES

- (1) RECEPTACLES FOR ACTIVE SPEAKERS SHALL BE CONTROLLED VIA TOGGLE SWITCH LOCATED IN THE SOUND BOOTH.
- $\langle 2 \rangle$  COORDINATE FINAL LOCATION WITH COUNTY.
- 3 CONNECT CONTACT RELAY TO LOCAL OCCUPANCY SENSOR FOR SPLITWIRED RECEPTACLE CONTROL.
- $\langle \underline{4} \rangle$ NEW CONDUITS TO BE INSTALLED IN FLOOR. PROVIDE SAW CUTTING AS REQUIRED.
- 5 PROVIDE LOW VOLTAGE RGB LED STRIP BACKLIGHTING ABOVE NEW WOOD PANELING. COORDINATE FINAL LOCATION WITH ARCHITECT.
- 6 UNINTERRUPTABLE POWER SUPPLY, POWER CONDITIONER, AND AUDIO MIXER TO BE LOCATED WITHIN POWER CLOSET.



2455 Bennett Valley Rd., Ste. B303 Santa Rosa, CA 95404 (707) 536-2121 (530) 222-3538 Fax http://www.nmrdesign.com

	REVISIONS			
Delta	Description	Date		
A	BACKCHECK 01	5/22/2023		
	ADDENDUM #1	09/27/2023		

If drav	wing is not 24" x 36" it is a re	educed print

# Copyright © 2023

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of, NICHOLS, MELBURG and ROSSETTO and were created, evolved and developed for use on, and in conjunction with, the specified project. None of such ideas, designs, arrangements or plans shall be used by, or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of NICHOLS, MELBURG and ROSSETTO. AGENCY APPROVAL







# PROJECT NAME

B.O.S. CHAMBERS IMPROVEMENT

FOR

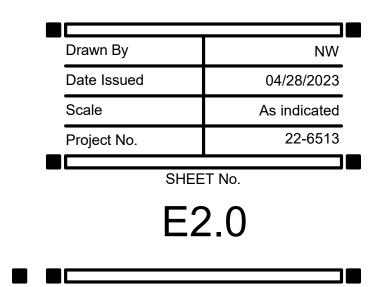


311 FOURTH STREET YREKA, CALIFORNIA, 96097

SHEET TITLE

ELECTRICAL FLOOR PLANS

# DRAWING STATUS CONSTRUCTION DOCUMENTS





# SISKIYOU COUNTY BOARD OF SUPERVISORS CHAMBERS REMODEL

PROJECT #22-6513

9/26/2023

I NO.	REC'D.	DWG. REF	DESCRIPTION	Contractor	RESPONSE	SENT TO CONTR
						contra
	09/13/23	Sec. 08 11 00	Confirm Section 08 11 00 - Metal Doors and Frames, is NOT used on this project. I do not see any	Builders Door &	Metal doors and frames are not used. Wood frames to match existing.	
			these on the plans. Provide clarification	Windor, Inc.		
	09/13/23	A710	There is no frame type elevation A, it is missing from plan sheet A710. Please provide	Builders Door &	Provided door frame elevation, see sheet A710	
				Windor, Inc.		
	09/25/23		Is there an Engineers Estimate?	Builder Solutions	No Engineers Estimate. Budget of \$300,000.00 to be used	
	09/25/23		Is a Bid Bond on a letter head from our Surety Agency acceptable or is there a Bid Bond Template	Builder Solutions	See Spec section 00 61 13.13	
			that the bidders should be using?			
	09/25/23	Sec 06 41 00	Please verify that white melamine is permitted at semi-exposed surfaces	S+B James	Permitted.	
		1.5 B		Construction		
	09/25/23	A902	Please verify that the Lexan lites (4/A902) are the DAP-1 panels	S+B James	Doors to be PLAM, see revised detail 4/A902.	
				Construction		
	09/25/23	A500	Re: the tall cabinet on 1/A500: a: The elevation shows this as plam doors but the section shows	S+B James	Doors to be PLAM, see revised detail 4/A902.	
			this as a 5-piece with panel. Please verify that this should be palm with no panel.	Construction		
	09/25/23	A500	b. The elevation scales this cabinet as 64" wide. Cabinet doors over 24" are not WI compliant.	S+B James	Permitted, see revised elevation 1A/A500	
			Please verify that I can break this into 2 cabinets (a 1-door and a 2-door cabinet).	Construction		
	09/25/23	A500	c. Please verify that the "soffit" will be the same plam as the cabinet (not wood veneer).	S+B James	Soffit to be same as cabinet, see revised detail 4/A902.	
				Construction		
	09/25/23	A500	Re: the wall at 2A/A500, the elevation says the bulk of the wall panels are LAM-1 and the	S+B James	PLAM to be used, see revised sheet A940.	
			sections say it's hardwood paneling. Please verify that the wall panels are PLAM-1.	Construction		
	09/25/23	A940	The reveal is not detailed in the sections. Please verify that all reveals will just be black.	S+B James	All reveals to be Black PLAM, similar to details 3&4/A940	
				Construction		
	09/25/23	Sec. 12 32 00	In reviewing the specification for the Electrically Operable Lectern, I searched the manufacturers	S+B James	See Cut sheet from Marshall Furniture.	
			"Chief Professional Mounting Systems", and "Inca Corporation". Both of these came up as	Construction		
			manufacturers of television mounting systems and not lecterns. Are there additional approved			
			lectern manufacturers beside Marshall Furniture?			
	09/25/23	A220	Keynote 6 on A220 states televisions are owner furnished, contractor installed. Is the same true	S+B James	Owner's subcontractor to provide mounting system, see reference sheet	
			for the television mounting systems?	Construction	TA0.1.	
	09/25/23	A710	Details 1 through 3 on A710 indicate the door frames are wood. The only specification included	S+B James	Wood door frames.	
			for door frames is for hollow metal. Please clarify the type of door frames to be used.	Construction		
	09/25/23	A710	The Door Schedule on A710 calls for solid core wood doors. The specifications include hollow	S+B James	Solid core wood doors.	
			metal doors and PLAM faced wood doors. Please confirm all doors scheduled to be S1 and WD	Construction		
			are to be PLAM faced wood doors.			
	09/25/23	E2.0		S+B James	Revised, see sheet E2.0.	
			On E2.0, in Hall E308, the uninterruptible power supply, power conditioner, duplex outlet, audio	Construction		
			mixer, and wall switch all conflict with the full height cabinet in this location shown on A220.			
			Please provide revised layout or confirm these are to be mounted in the full height cabinet.			





# SISKIYOU COUNTY BOARD OF SUPERVISORS CHAMBERS REMODEL

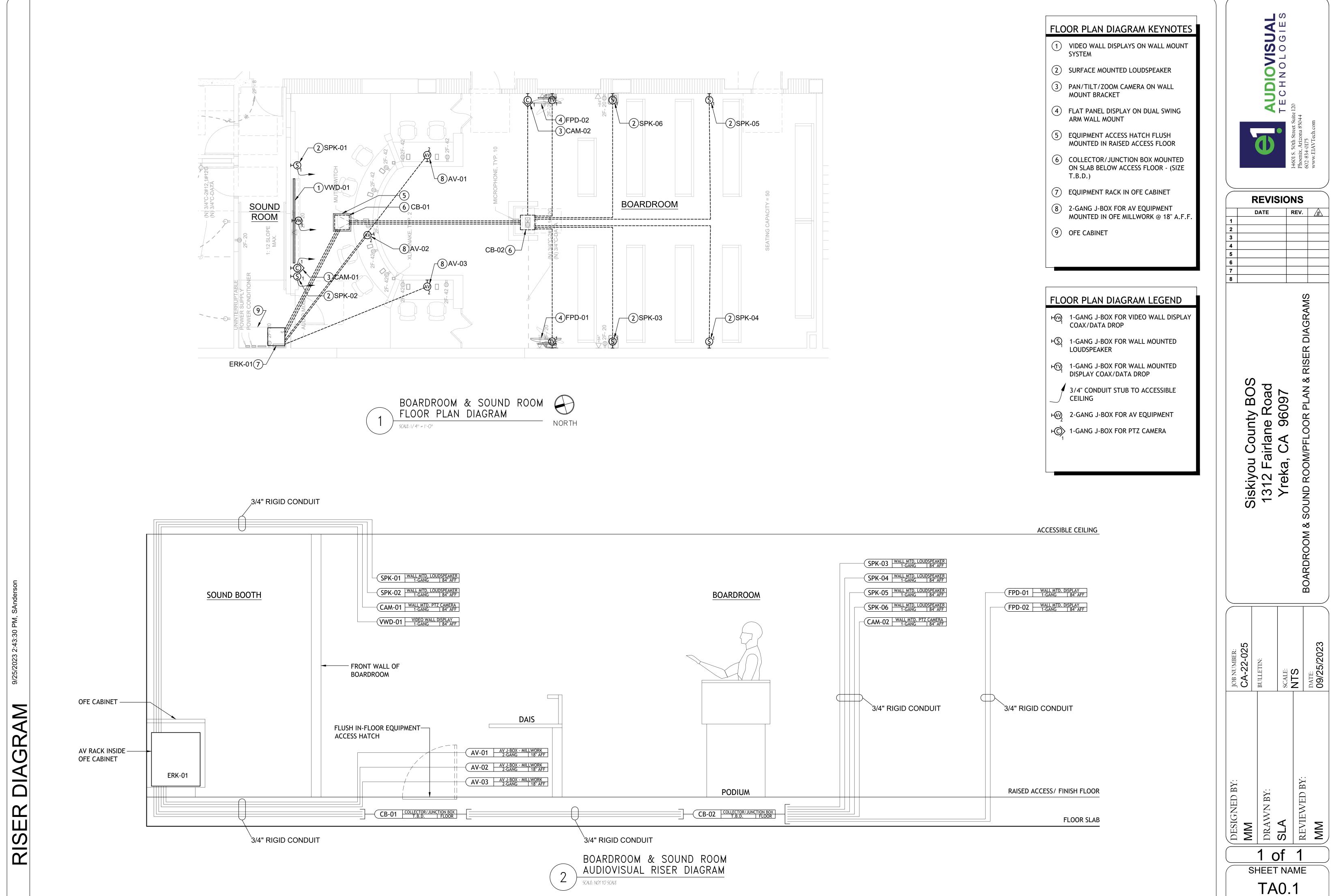
PROJECT #22-6513

9/26/2023

RFI NO.	REC'D.	DWG. REF	DESCRIPTION	Contractor	RESPONSE
	09/26/23	G002	G002/notes 9, 10, 11a, 11b all speak to rated wall assemblies, but appear to be generic notes. Please confirm that this project will not consist of installing any new fire/smoke dampers in the existing mechanical system. We are aware of the existing diffusers in the rated corridor wall, but are unable to determine if they are currently rated with smoke/fire dampers ect	S+B James Construction	No new fire/somke dampers in scope of wo
	09/26/23	MP2.0	2/MP2.0 shows a new 6" diameter duct from the new exhaust fan extending up to the roof. Please confirm if this is to penetrate through the roof, or terminate into the existing shaft/attic space. If it is to penetrate through the roof, please provide roof assembly detail including type of construction/layers above exposed sheathing as seen from below.	S+B James Construction	New penetration detail provided, see 11/AS
	09/26/23	A901	Note 4/A200 calls for a new sleeper platform to be built. The elevation of the platform is shown on the floor plan as 6.5" AFF. Note 4/A200 refers to detail 5/A901, which shows the construction of the platform. If built per this detail the subfloor elevation of the platform would be 8.5" AFF, exceeding code for the riser height. Please clarify these conditions. (2x4 sleepers @ 1.5", 2x6 floor joists @ 5.5", 2 layers of ¾" sheathing @ 1.5" equals 8.5" tall)	S+B James Construction	Revised 2x6 floor joist to 2x4, see detail 5/A
	09/26/23	BP	Please confirm who is paying for the building permit.	S+B James Construction	Contractor to include \$2,500.00 allowance f
	09/27/23	Sec. 23 05 93	The HVAC spec includes TAB. There is one piece of equipment to be installed, an exhaust fan which has the grill mounted directly to it. Other than setting the speed and recording it, please confirm no other TAB is required.	S+B James Construction	Confirmed, Toilet Room to be Negative to H
	09/27/23	A100	Room E311 has existing tile wainscot and flooring. A safe assumption is these are to be removed, however, and you please confirm these are to be removed in their entirety?	S+B James Construction	Remove in its entirety, see Demolition Keyn
	09/14/23	TA0.1	They quoted 6 speakers plans show 4. So we just need to know if they will need to order the other 2. TBD by county, clarify via addendum if 6 would be preferred, include the additional towards the last row of seating.		Low Voltage Scope – Contractor to provide a voltage scope. Cabling and wall mounted ac reference drawing TA0.1
	09/14/23	E2.0	Data added to the power closet clarify on electrical, doesn't appear to show on plan.		Data added, see E2.0
	09/14/23	A220 & A500	Acoustical Ceiling and Wall Tile Repair		Contractor to include 4 cases of tile for ceilin at E303 and ceiling at E309. Material remain Project Completion.
<u> </u>					
	1				
L	1	1			



SE	SENT TO CONTR.
f work. Existing to Remain.	
1/A902	
5/A901.	
nce for Building Permit, see Siskiyou	
to Hall.	
(autobas 7.8.0/4400	
Keynotes 7 & 8/A100	
ide all conduit, boxes, etc. for low	
d accessories by Others. See	
ceiling at E303 and 8 cases for wall	
maining to be returned to Owner at	







# **Siskiyou County**

806 South Main StreetYreka, CA 96097 530-841-2100 https://www.co.siskiyou.ca.us/

# INVOICE

Date: 09/21/2023

SISKIYOU CO OF COURT HOUSE UNKNOWN UNKNOWN, XX 00000

Parcel No.: 054181010000

Subdivision:

Application No.: B230217 Project: LOG 34350 Permit Type: COMMERCIAL Site Address: 311 FOURTH ST YREKA CA 96097

Description	Fee Amount	Paid/Credit	Balance Due
Electrical Permit Issuance	\$7.25	tari hitar olehindarat, antarakan torokin inginakan aktor kibanataran di saka padi so A	\$7.25
Mechanical Permit Issuance	\$7.25	ngangganalagi na ang pawina. Ini ana ang ang panana	\$7.25
Building Permit	\$1,329.75		\$1,329.75
California Building Standards Code Fee	\$6.30	NERLIT LETS INLER F. FREI F. 2. La 'No	\$6.30
Electrical Permit	\$118.24	en som en	\$118.24
Plumbing Permit	since the second s		\$29.10
Plumbing Plan Check Fee	1		\$7.28
Strong Motion Seismic Fee - Residential	\$0.00	e faithe and and the second second from the second second second second second second second second second seco	\$0.00
Building Plan Check Fee	\$864.34		\$864.34
California Building Standards Code Fee	\$0.70		\$0.70
Mechanical Permit	\$7.25		\$7.25
Plumbing Permit Issuance	\$23.50		\$23.50
Strong Motion Seismic Fee - Residential	\$0.00		\$0.00
Mechanical Plan Check Fee	\$1.81	and the second sec	\$1.81
Electrical Plan Check Fee	\$29.56	an til affrikke endresse i littalande fan skriftere en litter om i syndrefte fan s	\$29.56

Total Fee Amount:	\$2,432.33
Total Paid Credit:	\$0.00
Balance Due:	\$2,432.33

## PAYMENT DUE UPON RECEIPT

Contacts:	
-----------	--

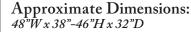
Type	Contraction of the second state of the seco	Address
OWNER	SISKIYOU CO OF COURT HOUSE	UNKNOWN UNKNOWN, XX 00000
APPLICANT	SISKIYOU CO OF COURT HOUSE	UNKNOWN UNKNOWN, XX 00000

# Prairie ADA Style

**V**A

Custom MLP-48ADA Lectern - MFI#38336RC - - Siskiyou County California BOS Chambers

Integration Friendly Furniture® Since 1986



### **Design Features Include:**

- 8" Height Adjust with Lift Switch
- Open Knee Space for Wheelchair Users
- Space Atop Surface for User Speaker
  Microphone Cut Out (TBD)
- Microphone Cut Out (11
- Black Exhaust Top Vent
- 1" Solid Wood Top CapSurface Grommets as Needed
- Surface Grommets as Needed
- Cable Cubby Cut Out (TBD)Slanted Work Surface with Pencil Stop
- Stanted Work Surface with Fencil S
- Floor Access Openings
- Locking Removable Service Panels
- Locking Swivel Carpet Casters

### Lead Time:

- 6 Weeks for a Qty (1) Production Requires PO, Approvals, &
- Equipment for Custom Fitting (if needed)
- Procurement Must Be Through Approved AV Integration Company or Contract Furniture Dealership of MFI's Choosing
- Formal Design Drawings Showing 2D & 3D Line Views of Design Will Be Provided Upon Bid Award to Approved MFI Dealer



### Call (847) 395-9350 to Request a Quote

All Woods are Plain Sliced with Open Pore Finish- Printed Colors are Approximate - Custom Color Matching Available - Samples Available Upon Request







Marshall Furniture Inc **\*** www.marshallfurniture.com 999 Anita Avenue **\*** Antioch IL 60002 **\*** P 847-395-9350 **\*** F 847-395-9351

© Copyright 2023 All Rights Reserved, Marshall Furniture Inc.